



**LONDON ROAD INDUSTRIAL ESTATE , NEWBURY  
NEWBURY ANNUAL CONFERENCE  
TIM SEDDON – REGIONAL DIRECTOR**

**21 OCTOBER 2014**

- Is the UK's leading regeneration specialist
- We possess a skill set that we believe is without peer
- We are not only first class developers and shrewd long term investors but we are also skilled and highly regarded estate and asset managers
- St. Modwen has a land portfolio of 6,000 developable acres comprising over 150 regeneration projects
- 5 million sq ft of industrial and warehouse accommodation
- 2.5 million sq ft of retail accommodation
- 900,000 sq ft of leisure space
- 30,000 residential plots (to planning recognition)
- We manage in house a £1.2 billion portfolio encompassing 1,600 tenancies producing an annual rent roll of £42.3 million pa

# New Covent Garden Market





# Coed Darcy





■ COMPLETED  
 ■ UNDERWAY  
 ■ PROPOSED  
 ■ EXISTING

# Longbridge



COFTON PARK

LONGBRIDGE EAST RESIDENTIAL

PARK VIEW RESIDENTIAL

LONGBRIDGE NORTH RESIDENTIAL

LONGBRIDGE WEST COMMERCIAL

LONGBRIDGE WEST RESIDENTIAL

LOWHILL LANE RESIDENTIAL

MG MOTORS (UK) LTD

LONGBRIDGE WEST EMPLOYMENT

PHILIP CORNES LTD

IT FLEET AUTOMOTIVE

VECOPLAN

EH SMITH

PRG

DESIGN & BUILD

COFTON CENTRE

AUSTIN PARK

BOURNVILLE COLLEGE

INNOVATION CENTRE

LONGBRIDGE TECHNOLOGY PARK

LONGBRIDGE NORTH EMPLOYMENT

TOWN CENTRE

SAINSBURY'S

'THE FACTORY' YOUTH CENTRE

TRANSPORT INTERCHANGE

# The Financial resources of St.Modwen

- A strong financial base has delivered strong financial returns and growth for our shareholders for over 30 years
- Our underlying assets provide a recurring income that covers the running costs of the business
- Recent highly successful initiatives to raise new capital through a retail bond and equity placing have strengthened and reinforced available funds





## Regeneration in Partnership - Residential

- An unsurpassed reputation for developing, operating, managing and enhancing both industrial and business parks comprising new and second hand stock
- Our direct residential development continues to grow
- We adopt a local house builder mentality; devising bespoke house types to suit the locality.
- 2012 bronze winner 'What House?' awards for Locking Parklands, Weston Super-Mare- Best residential developer
- 2013 winner National House Building Awards- Best Small House Builder
- An emphasis on quality and excellence



# A decade of delivery for Newbury

- Our aim is to produce a lasting legacy, and a physical, visual and financial transformation
- Our ideas arise from a rigorous analysis of the Estate in a regional context (macro) drilling down to an analysis of the issues on the ground (micro)
- The macro/micro analysis has given us a real understanding of the context from which the opportunity to regenerate is defined



# Regional context

- The town enjoys levels of prosperity and a quality of life hardly bettered anywhere in the U.K
- Excellent communications situated on the main cross roads between London and the West Country, the South Coast and the Midlands.
- The M4 motorway is only 3 miles away and the A34 dual carriageway North-South Trunk Road bypasses the town
- Newbury is the U.K headquarters of Vodafone, Bayer, Quantel, Stryker (UK) and Newbury Building Society



Home of one of the country's finest race courses



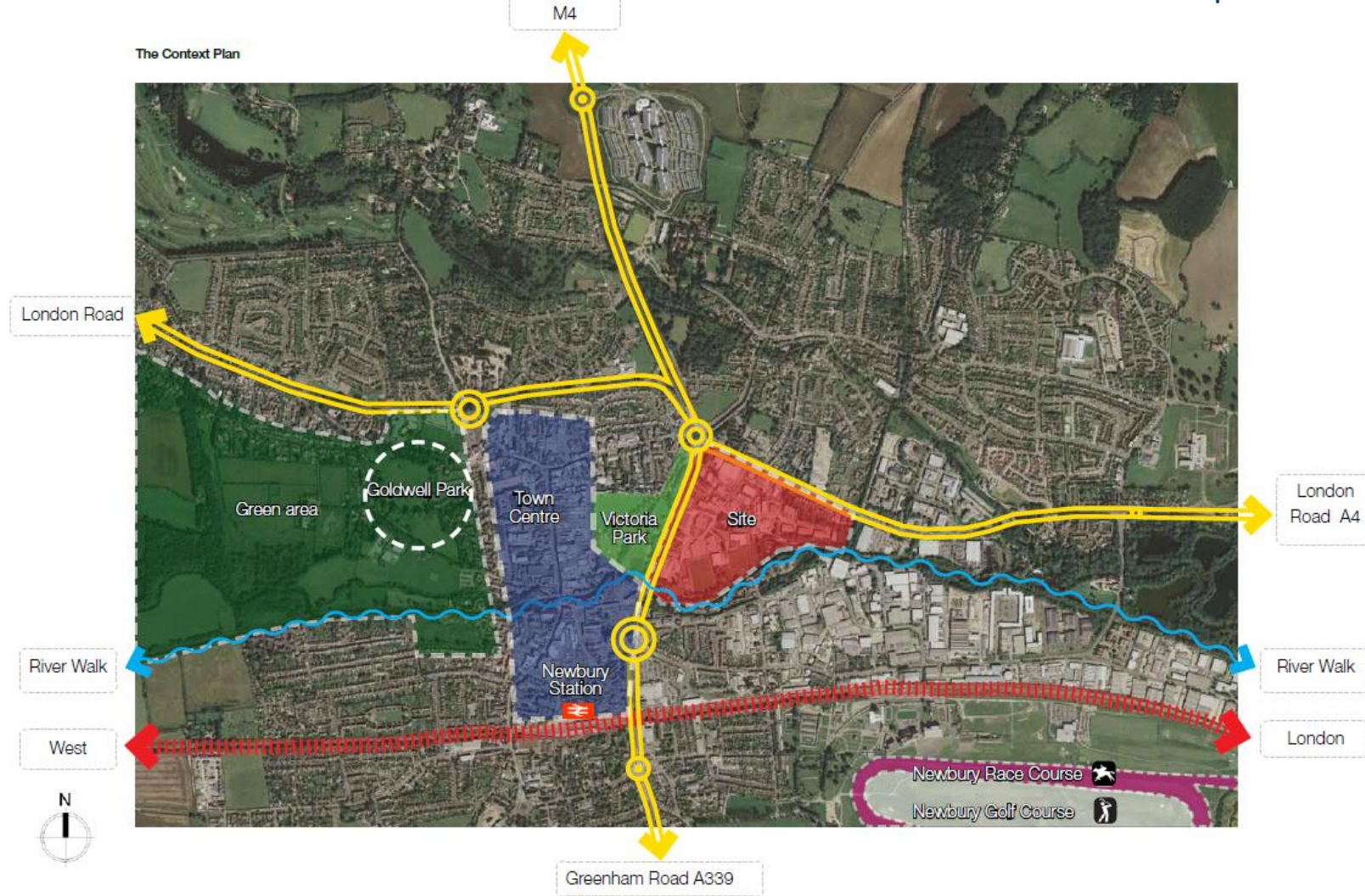
## The position of L.R.I.E.

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- Adjacent to the Eastern edge of the Town Centre which has been rejuvenated by the Parkway retail scheme
- Only 700m away from the nearest 'defined shopping frontage'
- 2,400 new homes are to be developed with the next five years and 10,500 in the period 2006-2026
- There exists therefore a major opportunity to regenerate the Estate with a mix of new uses

The London Road Industrial Estate represents an exceptional opportunity for regeneration.

# L.R.I.E. position in Newbury



## The existing context – the good

- Critical mass of business and built development
- Established highly accessible location
- Council owns the freehold of 26 plots - empowers to precipitate change
- 11 acres of prime waterside residential land
- Viable retail outlets on the edge of the site
- Prestige motor dealerships drive footfall and vitality



# Shortcomings – the bad

- Increasing vacancy levels
- Poor outward appearance arises from physical obsolescence
- An outdated leasing structure discourages investment
- A single point of access results in peak hour queries





## Opportunities and next steps

- Commence discussions with existing occupants, landlords and investors
- A holistic master plan approach provides a framework to deliver early improvements to the estate
- 'Pinch Point' funding for new access from the A339
- Reinforce structural landscaping, create stronger identity and branding
- Introduce new uses to bring vitality and new life



# Creating a Gateway



CONTEXT: HEAVY EXISTING LANDSCAPING ON THE A339 CONCEALS THE BUSINESS PARK

M4 Connection Gateway Connection to Newbury



STEP 1: NEW ALL MANOUVURES ACCESS JUNCTION OF A339



STEP 2: REINFORCE FARADAY ROAD AS THE SPINE OF THE ESTATE



STEP 3: REINFORCE FLEMMING ROAD AMPERE ROAD AND MARCONI ROAD

# LRIE into zones



1. Newbury, Berkshire



2. Town Centre - Shopping District



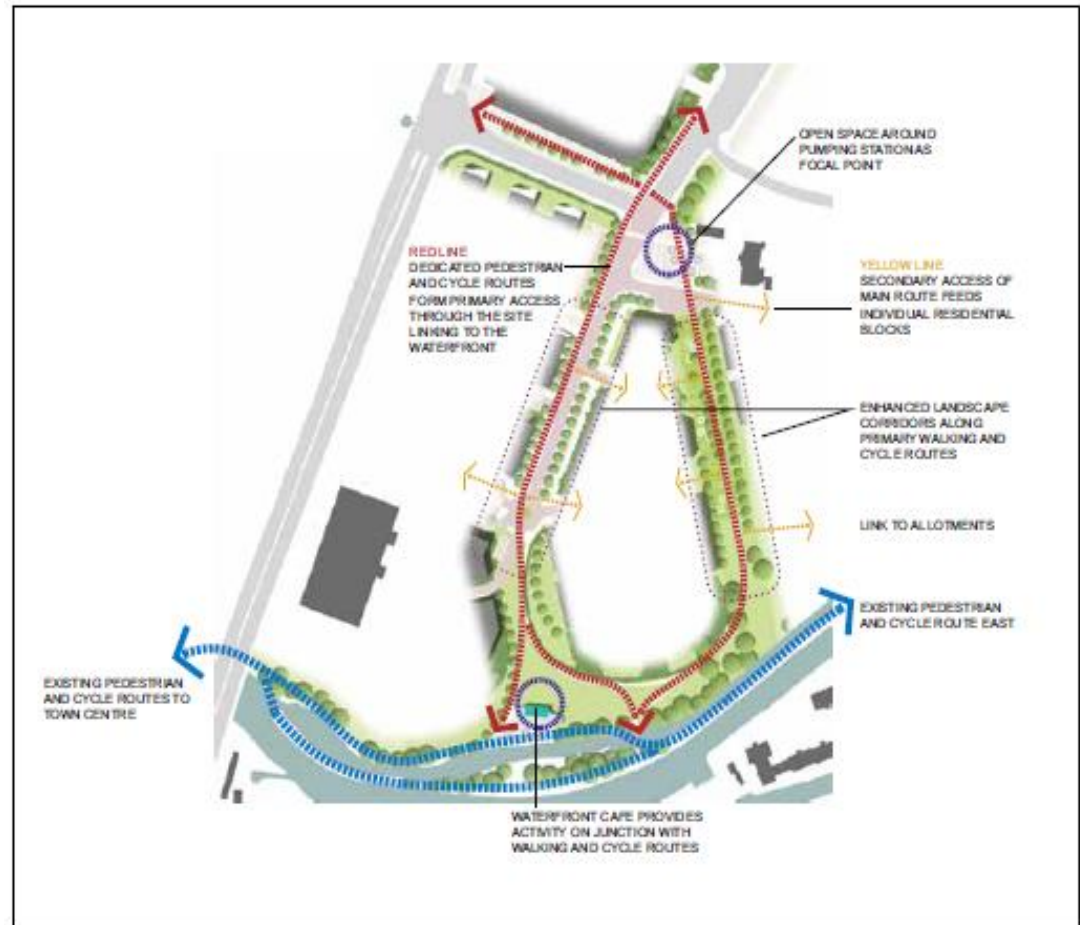
3. River Kennet - Waterfront



4. Racecourse

# Preliminary landscape strategy for the L.R.I.E.

- Predicated upon linkages to the waterside
- Enhanced landscape corridors incorporate pedestrian and cycle links
- A landscape hierarchy distinguishes the 'softer' office/residential zone from the 'harsher' retail, car showroom and industrial zone



## Indicative landscaping plan Faraday road

# Approach to landscaping



# Emerging master plan



**KEY**

- RESIDENTIAL: APARTMENTS
- RESIDENTIAL: TOWNHOUSES
- BAYER HQ OFFICE
- HOTEL
- CAFE
- CAR SHOW ROOM UNITS
- B1 (a) OFFICES

VICTORIA PARK

NEWSPAPER HOUSE

RIVER KENNET

ALLOTMENT GARDENS

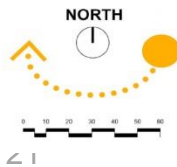
FLEMING ROAD

AMPERE ROAD

RIVER PARK

LONDON ROAD

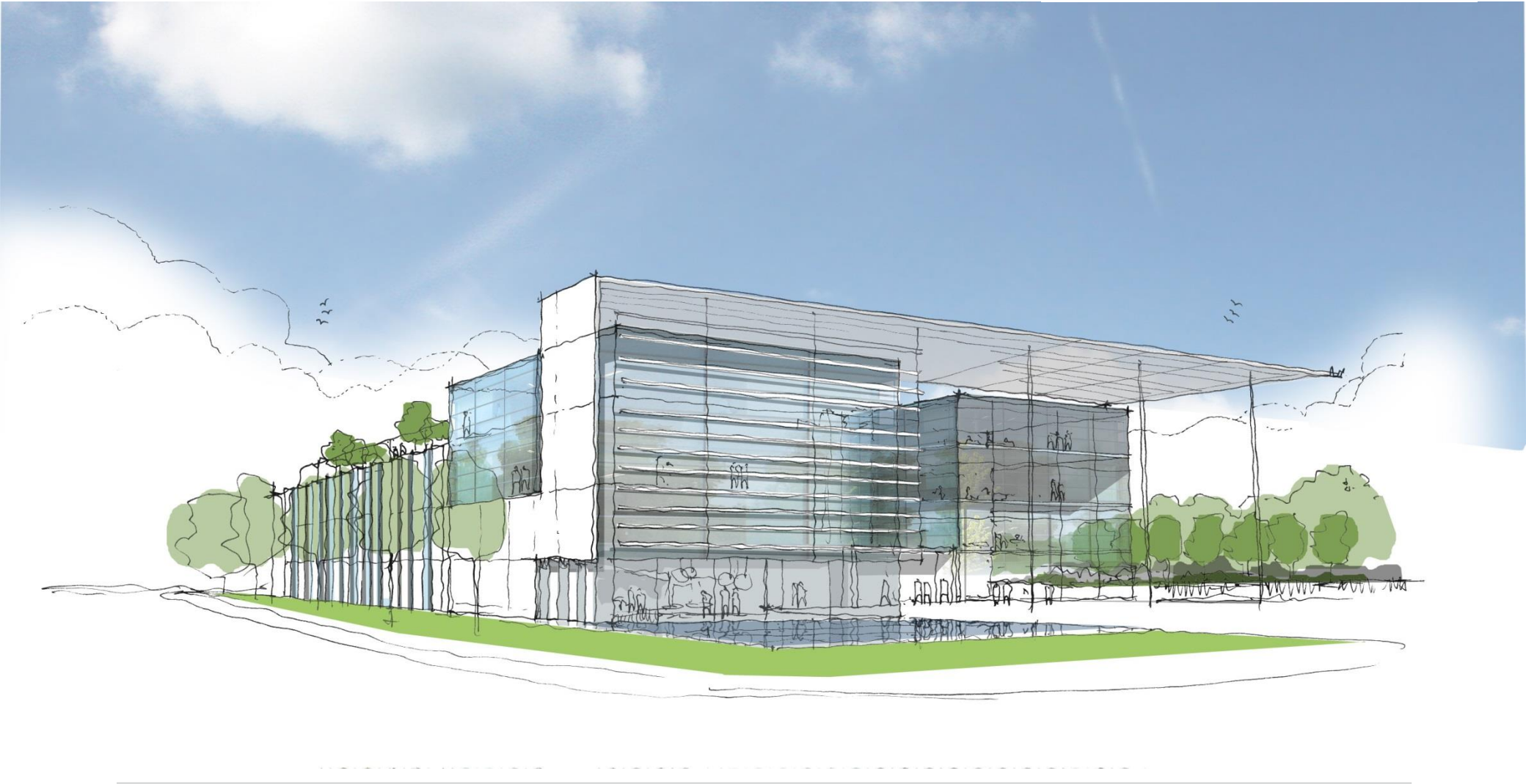
LONDON ROAD



# Emerging master plan



# Emerging master plan





# Iconic buildings



# Master Plan with Low Density Residential



- Partnership Development Agreement signed Autumn 2014
- Consultation with existing estate stakeholders – ongoing
- Outline Application Submission – Summer 2015
- Planning Consent – End 2015
- Reserved matters - End 2015
- Start on Site – Summer 2016

# Conclusion

- Our resolve to deliver this regeneration is unwavering
- We have relished formulating a stimulating vision for the future which completely dovetails with the stated aspirations of the estates brief and guidance notes
- Commitment and delivery. We will give Newbury exactly that
- We will transform this estate into a mixed use extension to Newbury's town centre
- We have the skill set, track record, strength of balance sheet and the hunger to achieve a substantial and lasting regeneration

